

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: June 15, 2006

ITEM NO. _____

CASE NUMBER/ PROJECT NAME	24-DR-2005 McDowell Mountain Business Center III		
LOCATION	16419 N. 92st Street		
REQUEST	Request approval of site plan and elevations for office/warehouse industrial buildings.		
OWNER	Pavo Holdings LLC 480-443-3992	ENGINEER	Fleet Fisher Engineering Inc. 602-264-3335
ARCHITECT/ DESIGNER	James Elson Architect 480-515-9332	APPLICANT/ COORDINATOR	James Elson James Elson Architect 480-515-9332
BACKGROUND	<p>Zoning. The site is zoned Industrial Park (I-1 PCD) District. The I-1 District provides for manufacturing, processing and research as well as airport uses, warehouses and offices uses. The McDowell Mountain Business Park Planned Community Development District (PCD) provides the overall development standards for the overall business park area and is intended to preserve views of the McDowell Mountains.</p> <p>Context. The site is located in the McDowell Mountain Business Park north of the Westworld event facility and east of the Pima 101 Freeway. The site is surrounded by office/warehouse facilities to the north, east, and west, and the Old Verde Canal berm runs through the property.</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none">• North: Office warehouse and vacant, zoned I-1 PCD District• South: Westworld equestrian and event facility, zoned W-P District• East: Office warehouse, zoned I-1 PCD District• West: Office warehouse, zoned I-1 PCD District		
APPLICANT'S PROPOSAL	<p>Applicant's Request. This is a request for approval of the site plan and elevations for five (5) new office/warehouse buildings (buildings A-E) located between 91st Street and 92nd Street. This development may become an office/industrial condominium.</p>		

Development Information:

- Existing Use: Vacant
- Proposed Use: Office/Warehouse
- Parcel Size: 6.77 Acres
- Building Size: 107,900 Total square feet
- Building Height Allowed: 36 Feet Allowed
- Building Height Proposed: 28 Feet Proposed
- Parking Required: 283 Spaces required
- Parking Provided: 284 Spaces Provided
- Open Space Required: 48,384 Square feet required
- Open Space Provided: 81,203 Square feet provided
- FAR Allowed: .40 Allowed
- FAR Provided: .366 Provided

DISCUSSION

The request is for four (4) 1-story buildings on the south side of the Rio Verde Canal, and one (1) 2-story building on the north side of the Rio Verde Canal. The development will maintain the majority of the canal berm and landscaping, which will contain a trail to link to the existing trail system along the canal berm to the east and west. The north office building will link with the southern buildings by a pedestrian connection through the canal berm, which also connects with the planned trail. A 2-4 foot high retaining wall will be provided where necessary along the south side of the berm to accommodate the parking lot.

The buildings are staggered on the site with chamfered, recessed entrances in the façade to provide for variations in the elevations. The buildings will be constructed of a combination of light-dark tan block and split face block with contrasting accent bands. Cultured stone piers, red brick colored plaster vertical wing wall elements, and horizontal steel beams provide significant accents to the buildings. The office building on the north side of the canal will also have a steel fascia element and balconies.

Landscaping will be consistent with the approved Master Environmental Design Concept Plan (MEDCP) approved for the McDowell Mountain Business Park. It includes the use of Palo Brea, Acacia, and Mesquite trees, and a variety of other low water-use materials. Many of the existing trees from the Old Verde Canal will be salvaged and relocated elsewhere on the site.

**STAFF
RECOMMENDATION**

Staff recommends approval, subject to the attached stipulations.

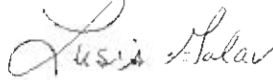
STAFF CONTACT(S)

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APPROVED BY



Tim Curtis, AICP
Report Author



Lusia Galav, AICP
Director, Current Planning
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
7. Exterior Building Color & Materials
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



McDowell Mountain Business Center III

PROJECT NARRATIVE

This development is proposed as a speculative industrial project to be located on approximately seven acres in the **McDowell Mountain Business Park**, an area of approximately 156 acres bounded by the Pima Freeway on the west, 94th Street on the east, Bell Road on the north and Westworld on the south. The area has been designated as a Regional Employment District on the Scottsdale General Plan since 1984. Throughout the last several years, numerous zoning cases have been processed through the City to establish both I-1 and C-3 uses for approximately eighty percent of the area. In October of 2000, the City of Scottsdale approved a zoning overlay that restricted building heights along Bell Road, and reduced lot coverage throughout the area.

Several years ago, the area completed the construction of an improvement district for streets and utilities.

In May of 2001, the Development Review Board approved a **Master Environmental Design Concept Plan** for the **McDowell Mountain Business Park**. The **MEDCP** establishes design criteria to unify the area under common design guidelines. The landscape palate contained in the **MEDCP** provides for xeriscape plant materials and a specific list of species for use in individual projects. Building materials and guidelines for their use are outlined in these Guidelines.

This project is located south of the Rio Verde Canal between 91st and 92nd streets, directly north of Westworld. The project consists of five buildings that will be phased for construction.

The site features the Rio Verde Canal and trail system to the north of the property.

The buildings will face both Westworld and the Rio Verde Canal. The service areas have been staggered and screened from the Project entrances. A two story office building is proposed at the north west of the site. The office will engage the Rio Verde Canal and the trail system that will link the Business Park.

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ATTACHMENT #1

The buildings for the **McDowell Mountain Business Center III** are designed with chamfered, recessed entrances in the facade to provide for variation in the elevations. Additionally, the corners of the structures are chamfered to facilitate truck access and to provide a reduction of scale to the buildings. Further detail has been added along glazed areas and entrances through the use of steel canopies and shade structures.

The buildings are proposed to be constructed of a combination of scored and scored split face concrete masonry units, with contrasting accent bands, visually unifying the various building elements and glazed areas. The elevations are further detailed with cultured stone piers that reflect the forty five degree angles of the main structure. The cultured stone provides a unifying element that is used throughout the McDowell Mountain Business Park. The Project is the third phase of a development which utilizes elements of the other two developments, while introducing some variation to avoid repetition.

The market has dictated the integration of second storey mezzanines, which include substantial glass areas that span between the stone piers. Aluminum storefront will be dark bronze to compliment the exposed steel elements. Glass will be solar bronze.

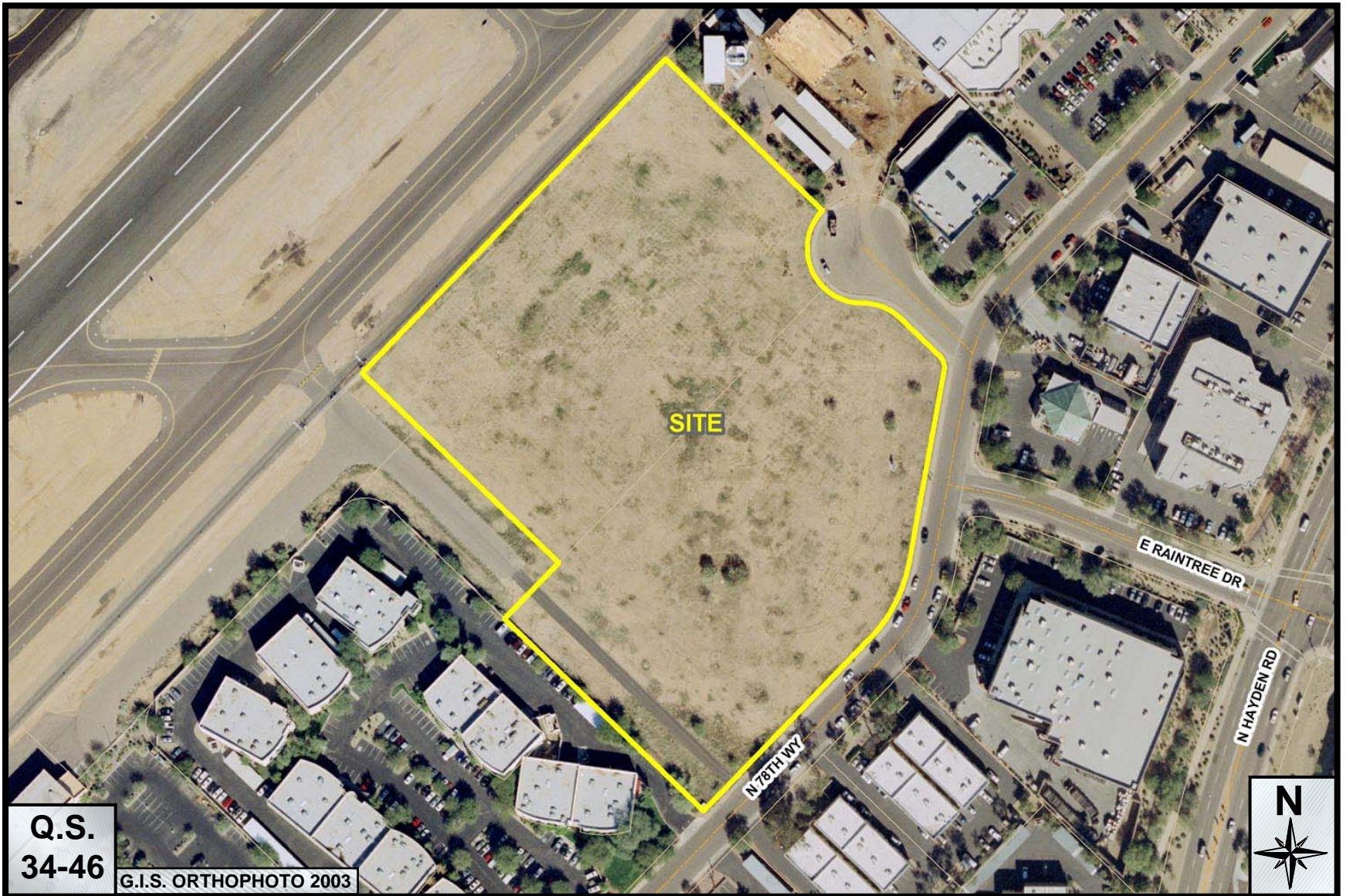
Integral color concrete pavers are used at project entrances to reduce the impact of asphalt parking lots. Colored concrete and exposed aggregate concrete walks will link individual buildings and the Rio Verde Trail system located north of the Project.

The color palate is of southwest desert earth tones, and the landscaping is comprised of xeriscape desert and semi-desert plant materials that conform to the requirements of the **MEDCP**.



McDowell Mountain Business Center III

24-DR-2005



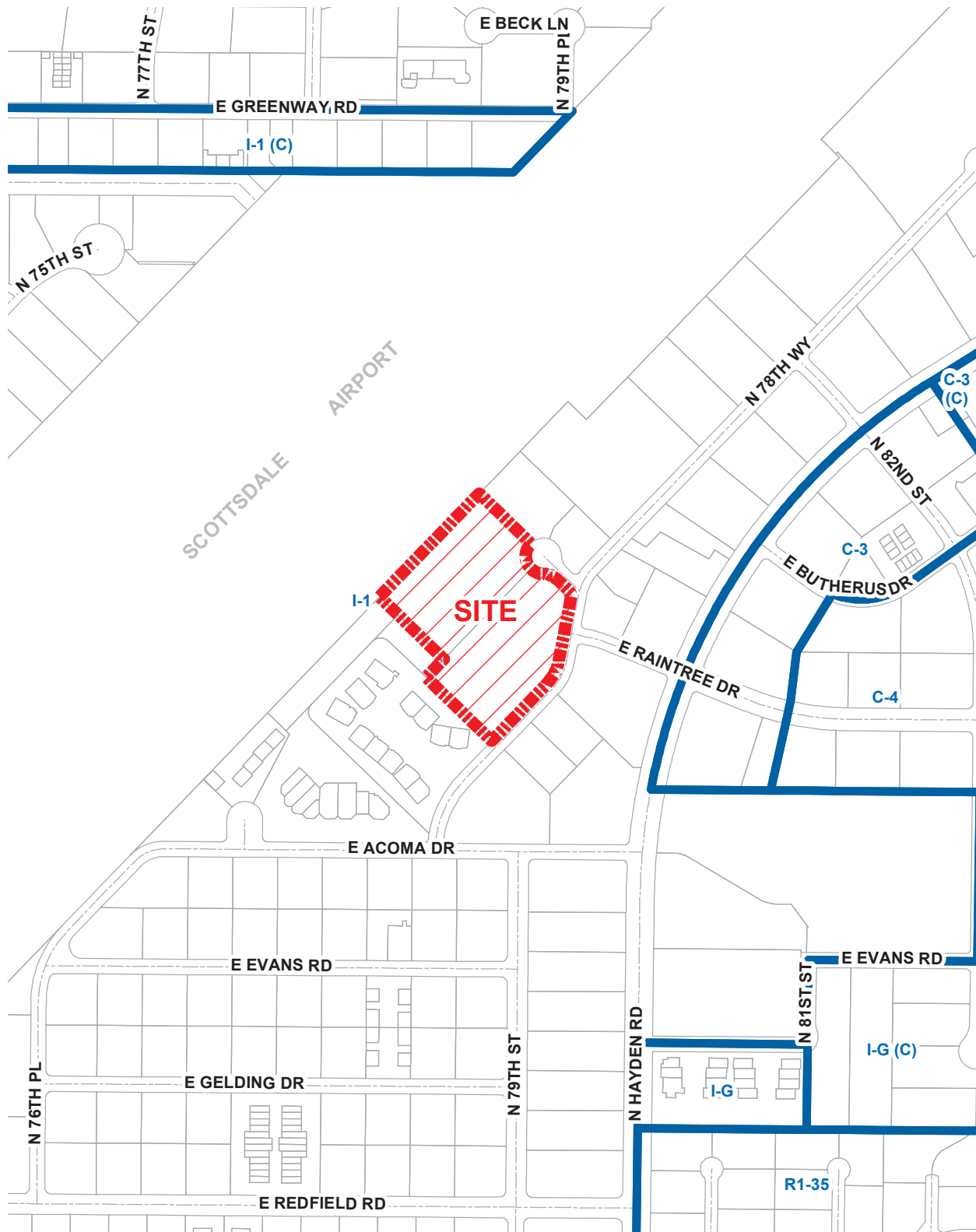
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34-46

G.I.S. ORTHOPHOTO 2003

McDowell Mountain Business Center III

24-DR-2005

ATTACHMENT #2A



24-DR-2005

ATTACHMENT #3

DEVELOPMENT DATA

LOT AREA

LOT AREA (NET) 295,027 SF
(6.77 AC)

ZONING: I-1 PCD

BUILDING HEIGHT: 28'-0"

CODE:

2003 INTERNATIONAL BUILDING CODE (IBC) WITH CITY OF
SCOTTSDALE AMENDMENTS AS FOLLOWS

GOVERNING BUILDING CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE
FOLLOWING CODES AND AMENDMENTS PER
LOCAL ADOPTED ORDINANCES

2003 INTERNATIONAL BUILDING CODE (IBC) (2003, 2006)
2003 INTERNATIONAL MECHANICAL CODE (IMC) (2003, 2006)
2003 INTERNATIONAL FIRE CODE (IFC) (2003, 2006)
1994 UNIFORM PLUMBING CODE (UPC) (2003, 2006)
1999 UNIFORM ELECTRICAL CODE (UEC) (2003, 2006)

AMERICAN SCAFFOLDING ASS. (ASSA) & CANADIAN ASSOCIATION
OF SCAFFOLDERS (CASA) - 1992 & 1997

A) Design and construction to meet requirements of Zone

B) 1. Zone 1: 100' x 100' x 100' x 100' x 100' x 100'

ALL PRODUCTS USED BY U.S.O. (U.S.O. STANDARDS)
SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S
WRITTEN INSTRUCTIONS. MISCELLANEOUS WITH STRUCTURES,
INCLUDING PERMA, SPAN, PONDERS, NEW WALLS, RETAINING WALLS,
AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.

CONSTRUCTION TYPE: II - B

OPEN SPACE REQUIRED:

GENERAL: 100' x 100' x 100' x 100' x 100' x 100' = 40,000 SF
FURNISH: 100' x 100' x 100' x 100' x 100' x 100' = 15,371 SF
TOTAL REQUIRED: 55,371 SF

OPEN SPACE PROVIDED:

GRASS: 47,300 SF
TREES: 11,070 SF
TOTAL PROVIDED: 58,370 SF

BUILDING VOLUME ALLOWED:

28' x 100' x 100' = 2,800,000 CF

BUILDING VOLUME PROVIDED:

2,800,000 CF

LOT COVERAGE:

107,812 / 295,027 = 36.8%

F.A.R. ALLOWED (AS PER ZONING CODE):

12 SPACES (TOTAL)

4 SPACES

12 SPACES

12 SPACES

20 SPACES

20 SPACES

20 SPACES

20 SPACES

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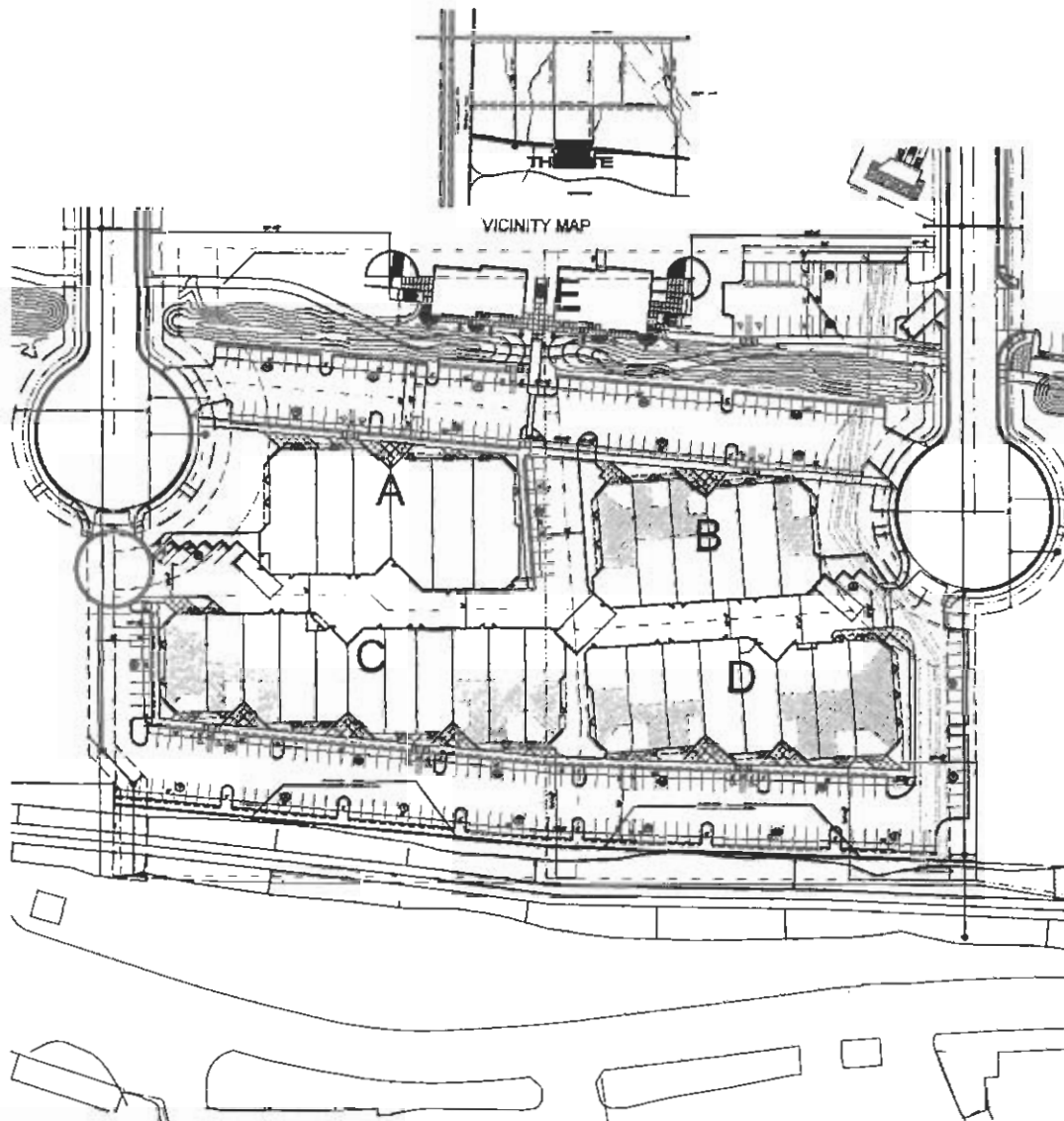
20 SPACES

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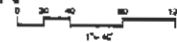
20 SPACES

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20 SPACES



SITE PLAN



24-DR-2006
03/16/2006

McDOWELL MOUNTAIN BUSINESS CENTER III
AN INDUSTRIAL PROJECT FOR PAVO HOLDINGS, L.L.C.
G.L.O. LOTS 27 & 28

james
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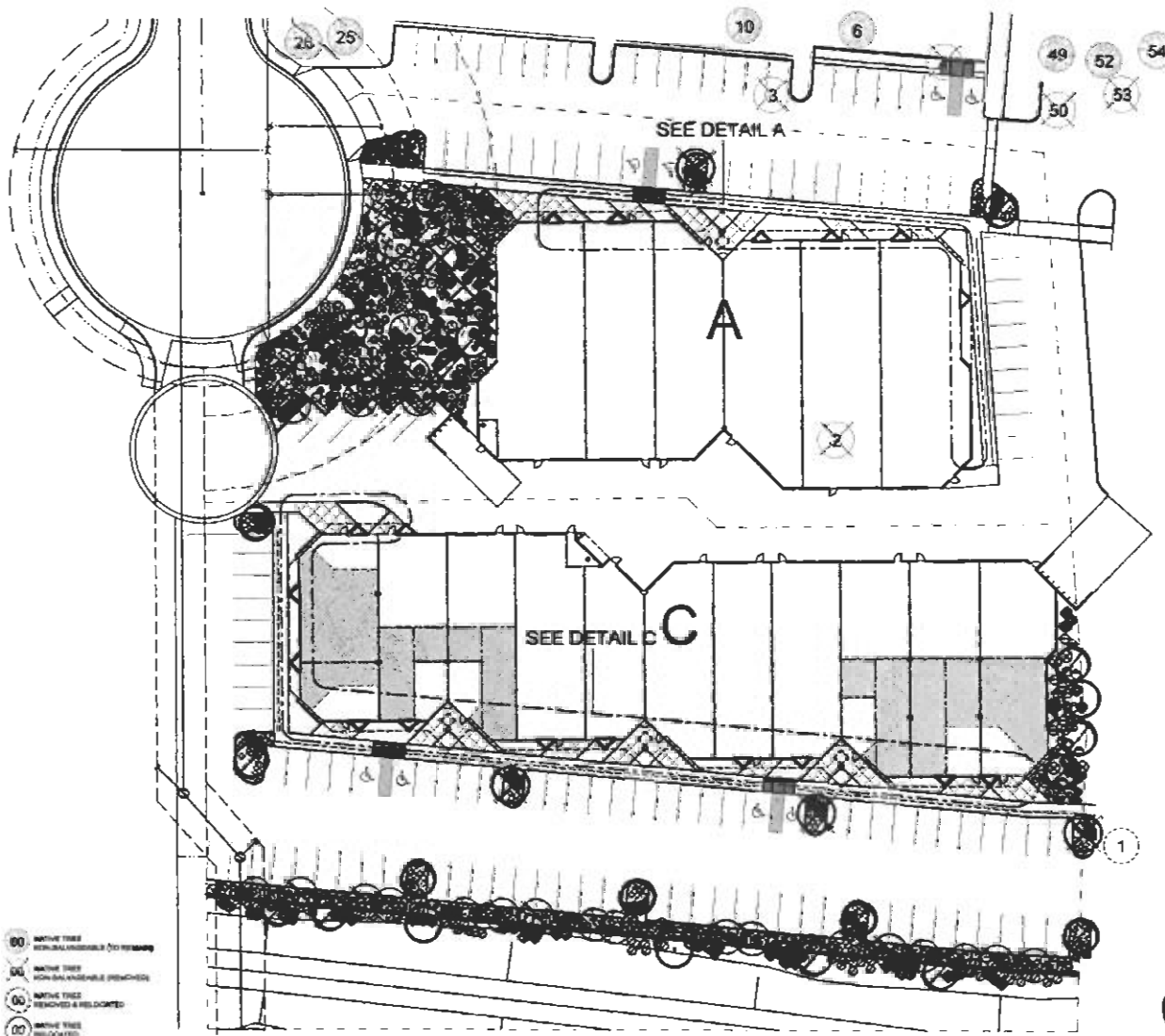
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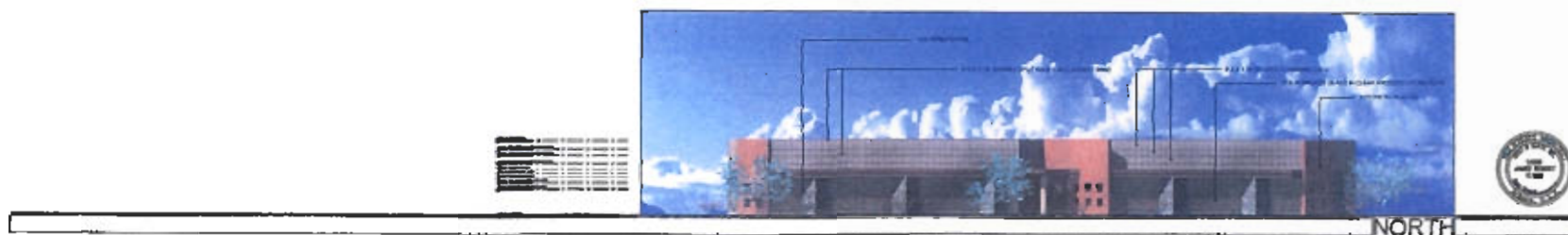
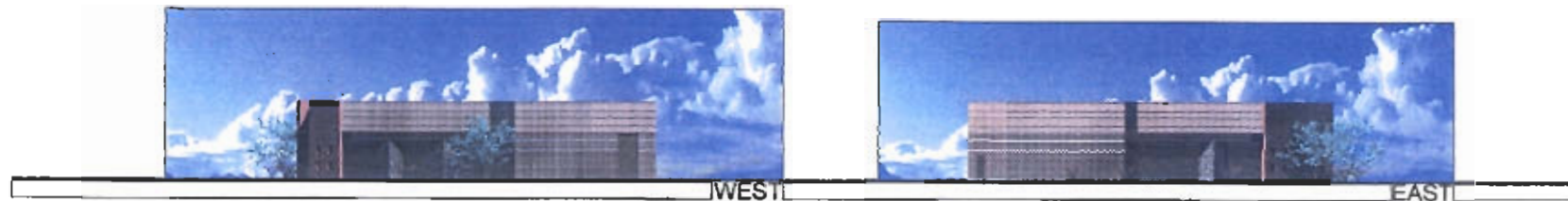
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elison

L1.2
LANDSCAPE
PLAN A & C

SYMBOL	ITEM	QUANTITY	UNIT	PRICE
ROADWAY & PAVEMENT ITEMS				
	18" CONCRETE	12,000	SF	2.00
	12" CONCRETE	12,000	SF	1.50
	6" CONCRETE	12,000	SF	1.00
	4" CONCRETE	12,000	SF	.75
	2" CONCRETE	12,000	SF	.50
	1" CONCRETE	12,000	SF	.25
	1/2" CONCRETE	12,000	SF	.12
	1/4" CONCRETE	12,000	SF	.06
	1/8" CONCRETE	12,000	SF	.03
	1/16" CONCRETE	12,000	SF	.01
	1/32" CONCRETE	12,000	SF	.00
	1/64" CONCRETE	12,000	SF	.00
	1/128" CONCRETE	12,000	SF	.00
	1/256" CONCRETE	12,000	SF	.00
	1/512" CONCRETE	12,000	SF	.00
	1/1024" CONCRETE	12,000	SF	.00
	1/2048" CONCRETE	12,000	SF	.00
	1/4096" CONCRETE	12,000	SF	.00
	1/8192" CONCRETE	12,000	SF	.00
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	1/32768" CONCRETE	12,000	SF	.00
	1/65536" CONCRETE	12,000	SF	.00
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BUILDING ELEVATIONS / A
SCALE 1/16" = 1'-0"

McDOWELL MOUNTAIN BUSINESS CENTER III
AN INDUSTRIAL PROJECT FOR PAVO HOLDINGS, L.L.C.
G.L.O. LOTS 27 & 28

DATE: 1/10/06

JAMES ALSON
ARCHITECT

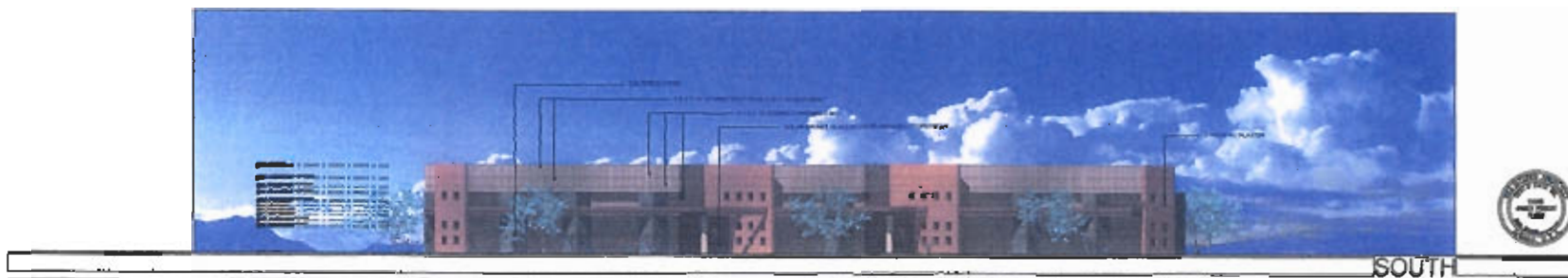
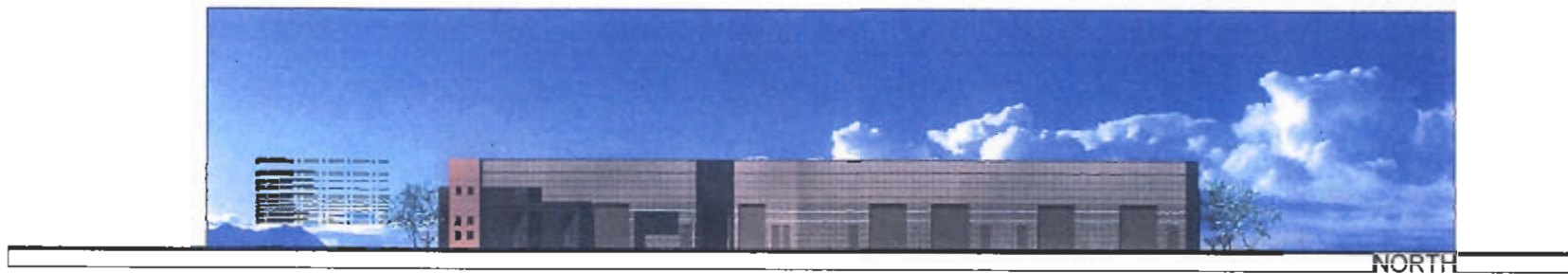
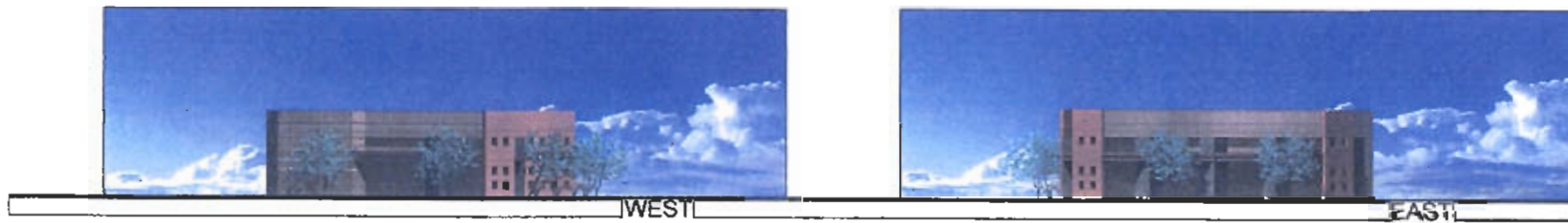
THIS PLAN SET HAS BEEN
REVIEWED AND APPROVED
FOR THE PROJECT BY THE
LOCAL GOVERNMENT



A3.1
BUILDING
ELEVATIONS

ATTACHMENT #6

24-DR-2006
06/06/2006



BUILDING ELEVATIONS / D
SCALE: 1/16" = 1'-0"

McDOWELL MOUNTAIN BUSINESS CENTER III
AN INDUSTRIAL PROJECT FOR PAVO HOLDINGS, L.L.C.
G.L.O. LOTS 27 & 28

DATE: 11/11/06

james
elison

ARCHITECT
P.O. BOX 1000
1000
1000



A3.4
BUILDING ELEVATIONS

24-DR-2006
06/06/2006



WEST



EAST



NORTH



SOUTH

BUILDING ELEVATIONS / E

SCALE 1/16" = 1'-0"

McDOWELL MOUNTAIN BUSINESS CENTER II
AN INDUSTRIAL PROJECT FOR PAVO HOLDINGS, L.L.C.
G.L.O. LOTS 27 & 28

DATE 11.28
BY 01.09

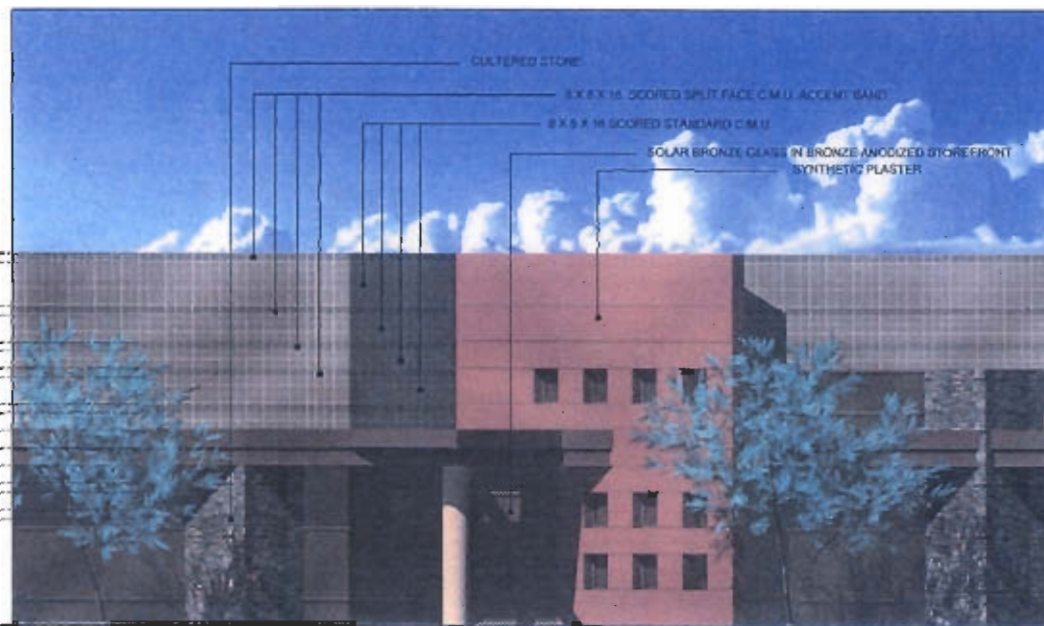
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A3.5
BUILDING
ELEVATIONS

24-DR-2006

06/06/2006



McDOWELL MOUNTAIN BUSINESS CENTER III
AN INDUSTRIAL PROJECT FOR PAVO HOLDINGS, L.L.C.
G.L.O. LOTS 27 & 28

james
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0000-0000-0000-0000

TYPICAL BUILDING ELEVATION

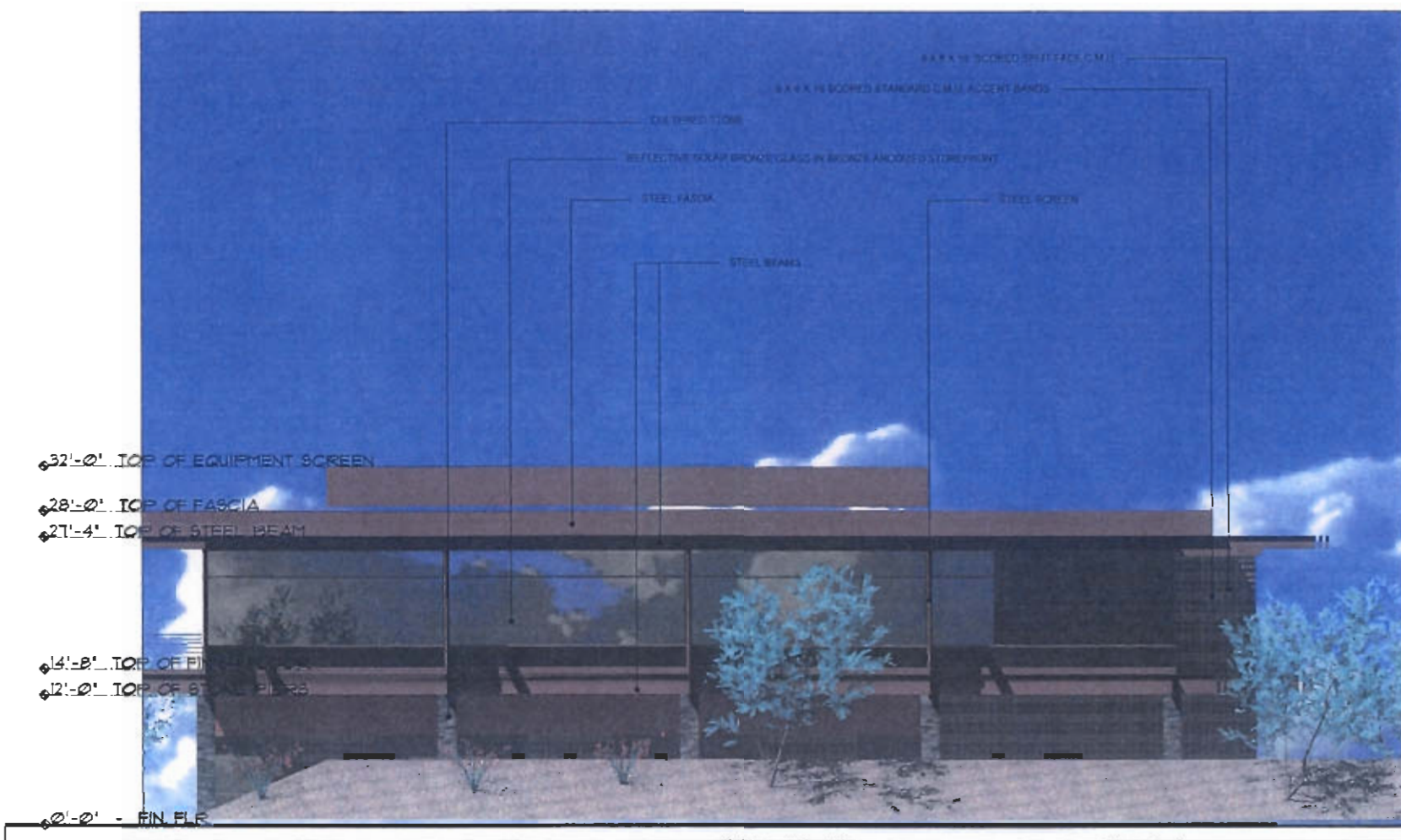
SCALE: 1/4" = 1' - 0"

A3.6
TYPICAL
ELEVATION

24-DR-2006

06/06/2006

McDOWELL MOUNTAIN BUSINESS CENTER III
 AN INDUSTRIAL PROJECT FOR PAVO HOLDINGS, L.L.C.
 G.L.O. LOTS 27 & 28



PARTIAL ELEVATION / E
 SCALE 1/16" = 1'-0"

DATE: 06/06/2006
 DRAWN BY: JAMES
 CHECKED BY: JAMES
 PROJECT: McDOWELL MOUNTAIN BUSINESS CENTER III
 SHEET: A3.7
 PARTIAL ELEVATION

24-DR-2006
 06/06/2006

ELEVATION



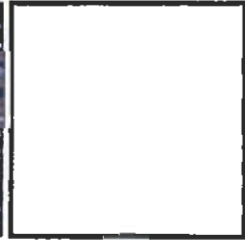
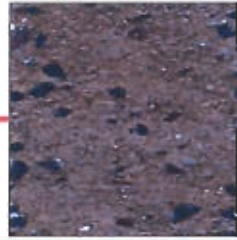
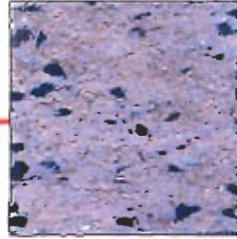
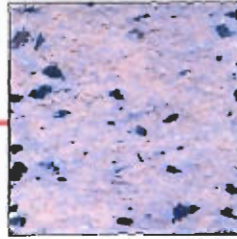
SA1345
ICI RED BRICK

2250-0300
WHOLE WHEAT (50%)

2250-0300
WHOLE WHEAT

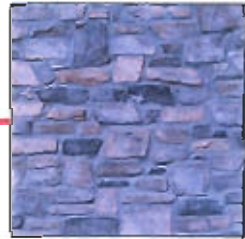
2250-0300
WHOLE WHEAT X 2

MASONRY COLORS



Bucks Country
Cultured Stone CVS - 2030

STONE



STOREFRONT



ALL COLORS
ICI SINCLAIR

24-DR-2006

06/06/2006

McDOWELL MOUNTAIN BUSINESS CENTER III
at Mc DOWELL MOUNTAIN BUSINESS PARK



EXTERIOR BUILDING
COLOR & MATERIAL SAMPLES

ATTACHMENT #7

McDowell Mountain Business Center III
16419 N. 91st Street
Scottsdale AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p style="margin-left: 20px;"><u>tbd</u></p> <p><input type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;">x A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 <small>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</small></p> <p><input checked="" type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p><input checked="" type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 700' AT 1875 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) <u>tbd</u></p> <p><input checked="" type="checkbox"/> 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS <u>tbd</u></p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x <u>tbd</u> (NSHT)</p> <p style="margin-left: 20px;"><input type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.</p> |
|---|---|

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: tbd
SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☒ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA: tbd
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES:
.45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: McDowell Mountain Business Center III 24-DR-2006

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by James Elson architect with a staff receipt date of 6/6/06.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by James Elson architect with a staff receipt date of 3/13/06.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by James Elson architect with a staff receipt date of 2/16/06.
 - d. The project shall be in conformance with the Master Environmental Design Concept Plan for the McDowell Mountain Business Park case number 1-MP-01.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).

SITE DESIGN:**DRB Stipulations**

10. Applicant shall process a Land Assemblage concurrent or prior to final plans submittal to tie parcels 217-13-021A and 217-13-021B or process a Land Division Application to create new parcels. Any newly created parcels will need to meet I-1 PCD development standards separately.
11. Prior to final plans approval, the applicant shall provide documentation from the utility company approving the location of the proposed transformers. The plans shall reflect the locations and screening required for the mechanical equipment.
12. Prior to final plans approval, the applicant shall coordinate the general location and design of the trail with the city's Trails Planner and provide documentation of approval. Final location and design shall be approved by City staff prior to issuance of the first certificate of occupancy on site.

Ordinance

- A. *Signs by separate approval and permit.*

LANDSCAPE DESIGN:**DRB Stipulations**

13. The landscape plans shall be revised at time of final plans to meet the requirements of APS for transformer locations.
14. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
15. All salvaged plant material shall be included and identified on the final landscape plans.
16. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.

Ordinance

- B. *Trees shall not be provided within a public utility easement or within seven feet of any water or sewer line.*
- C. *Internal parking lot landscaping must be accounted for separately, and may only include landscaping internal to the parking area such as landscape islands. To be credited as internal, the feature must be no less than 120 SF in area, no less than seven feet wide inside of curbs, and entirely planted area. (Section 9.106.E.5, Zoning Ordinance).*
- D. *Fifty percent of trees shall be mature, as defined in Article III of the Zoning Ordinance. Indicate both the compliant caliper and industry standard box size for that caliper in the plant palette (Section 10.501.B, Zoning Ordinance).*

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

17. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
18. The individual luminaire lamp shall not exceed 250 watts.
19. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
20. All exterior light poles, pole fixtures, and yokes shall be a flat black or dark bronze.
21. Landscape lighting is not proposed or approved with this application.
22. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 2.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed .8 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

23. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

24. No exterior vending or display shall be allowed.
25. Flagpoles, if provided, shall be one piece, conical, and tapered.
26. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- E. *At the time of review, the applicable zoning case(s) for the subject site were: 16-ZN-00, 33-ZN-00.*

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

27. The developer shall make the following corrections to the prelim drainage report for McDowell Mountain Business Center III dated May 8, 2006, prepared by Fleet Fisher Engineering, to create a separate drainage plan for pre development conditions and post development conditions.
- Revise the drainage report and provide the necessary detail as required by the City of Scottsdale Design Standards and Policy Manual.
 - The site does not need to provide any stormwater storage basins. The site qualifies for a stormwater storage waiver since it is part of the Bell Road II I.D. There are no Stormwater storage waiver in lieu fees, since the property contributed to building the canal on the south property line.
 - Provide a separate full size pre development drainage site plan to the report that is the same scale as the post development site plan. Show contours. Show the 100 yr floodplain. Show all the basic elements of a drainage plan including, flowrates, flowlines, historical entry and discharge locations, existing storm drainage infrastructure, etc. Show the information on the pre development drainage plan. Don't show proposed buildings, driveways or refuse enclosures and parking areas.
 - Provide a colored topographic aerial photograph for this site with a transparent site overlay. The coverage area shall include a 500 ft radius from each perimeter side of the site. Do not block out the aerial photography with new and existing improvement drawings.
 - Show and label the flowpaths on each site plan. Use the dashed line to show the flowline of the wash bottom, or use flow arrows to show the drainage path of runoff.
 - Show the new contours for the Old Verde Canal.
 - Show a label the pre and post development 100 yr peak flowrates for a 6 hr storm event for each flow control point, and for all entrance and exit locations. Show on the full size site pre and post development site plans, all historic flow entrance and exit locations and the pre and post development 100 yr, 6hr storm flowrate and velocity for each location.
 - Use bold lines to delineate the drainage sub areas and show all grade breaks on the G&D plan.
 - Provide erosion protection for all outfalls.
 - Show all retaining wall abutting the Old Verde Canal. Show all required wall and footing elevations and provide structural calculations.
 - The finished floor elevation for Building B shall be 1536.5. Describe in detail how the finished floor elevations were determined for each building. Use a table.
 - Add a paragraph to the drainage report that describes how storm drain pipes will be placed through the Old Verde Canal. Dedicate drainage easements on the main storm drain pipes.
28. Manholes shall be installed at the bends on the 24 to 30 inch diameter site storm drain.
- a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
29. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:

- a. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- (1) Off-site runoff must enter and exit the site as it did historically.
 - (2) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- F. The Developer shall obtain a Stormwater Storage Waiver for this development. This approval is based on the following conditions:
- (1) No in lieu fees shall be assessed against this site since it participated in the funding of the canal along the south property line.
 - (2) No stormwater storage is required for this site per the conditions of the Bell Road II Improvement District.
- G. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- H. Underground Stormwater Storage:
- (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
 - (2) Drywells are not permitted.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:**Streets and other related improvements:****DRB Stipulations**

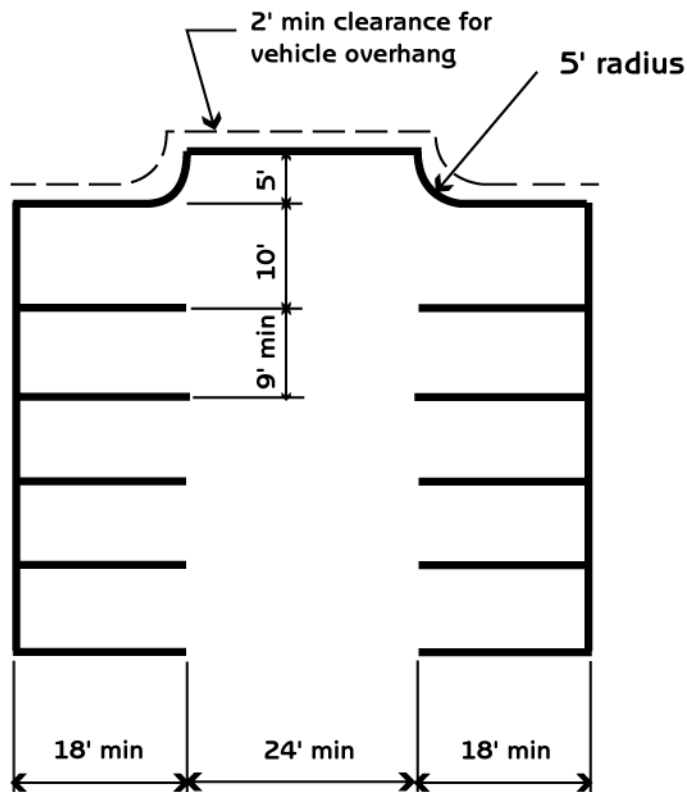
30. No right of way dedication or street improvements are required. The site lies within the Bell Road II Improvement District.
31. Align the throats of the site driveways onto 91st and 92nd Streets so it is perpendicular to the curvature of the cul de sac.
32. The developer shall design and construct 2 site driveways onto 91st street and 3 site driveways onto 92nd Street in general conformance with City of Scottsdale Standard Detail #2256 for CL-1.

INTERNAL CIRCULATION:**DRB Stipulations**

33. The developer shall provide a minimum parking-aisle width of 24 feet.
34. Provide bike parking per COS standard – 14 racks = 28 spaces. Show on site plan.
35. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

36. The developer shall design the dead-end parking aisle in general conformance with the included detail:

DEAD-END PARKING AISLE DETAIL



NOTES:

1. Maximum dead-end parking aisle length is 150 feet.
2. If the length exceeds 150 feet, a turn-around shall be provided for emergency vehicles.
3. No refuse enclosures are permitted on a dead-end aisle.

Ordinance

- I. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

DRB Stipulations

37. Trail Easement:

- a. The developer shall preserve the "Old Verde Canal" and dedicate a minimum 40 foot wide public access easement generally center on the existing "Old Verde Canal" alignment. The minimum base width of the reconstructed "Old Verde canal shall be 40 feet and the top contour elevation shall be 1542 and the toe of slope contour elevation shall generally be 1535. Side slopes shall not exceed 3:1. Tapered down at intersections to be compliant with sight distance triangles.
- b. Prior to final plan approval, the developer shall dedicate a minimum 15-foot wide public trail easement on the north slope of the "Old Verde Canal" as shown on the DRB site plan. Before any certificate of occupancy is issued for the site, the developer shall construct a minimum 8-foot wide public trail within the easement. The trail shall be buffered from parking areas and from vehicles as much as possible. The applicant shall be responsible for coordinating the approved trail alignment with the City's Trail Coordinator. The alignment shall be determined prior to submission of final plans.
- c. The developer shall provide signage for all trails per Section 7.3 of the City's Design Standards & Policies Manual. The location and design of the signs and markers shall be shown on the final improvement plans to the satisfactions of Parks and Recreation staff. Sight Distance Easements:

38. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

39. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

J. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

K. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:

DRB Stipulations

- 40. The developer shall construct at least 6 refuse enclosures.
- 41. The double refuse enclosure shown in the middle of the site does not provide 40 feet of clear space measured from the face of the enclosure. This area shall be redesigned to provide the 40 feet of clear space.
- 42. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1,2(2 is grease containment) for single enclosures and #2147-1,2(2 is grease containment) for double enclosures.
- 43. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

L. Refuse enclosures are required as follows:

- (1) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

M. Underground vault-type containers are not allowed.

N. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

O. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

44. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:

- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**DRB Stipulations****Ordinance**

P. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

45. On-site sanitary sewer shall be privately owned and maintained.

46. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

Q. Privately owned sanitary sewer shall not run parallel within the waterline easement.

R. The developer shall construct a separate sanitary sewer monitoring manhole for each individual building in this development connection to the public sewer. All sewage discharged from this development shall

meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole.

Ordinance

- S. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]